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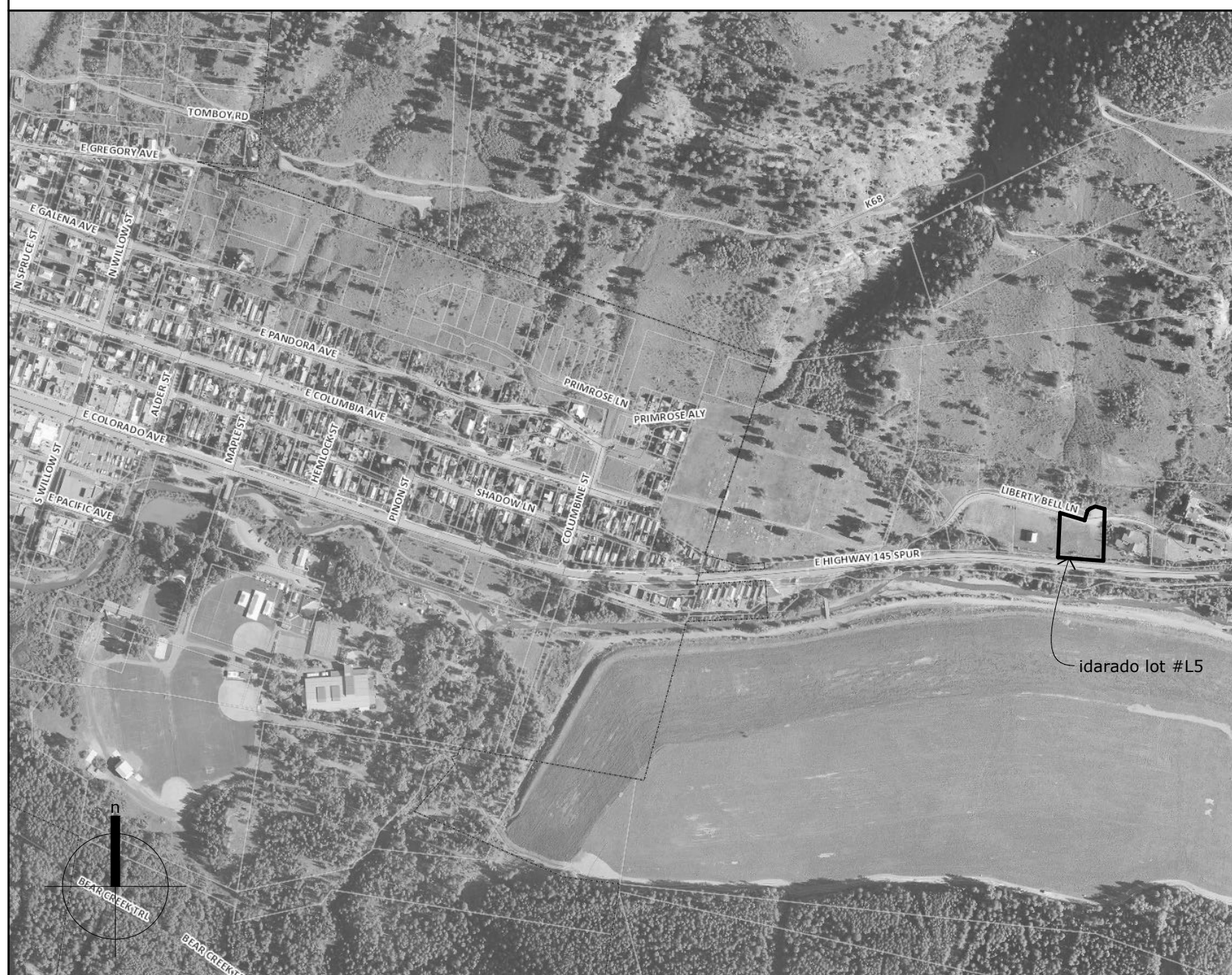
## general notes

- the contract documents include the contractual agreement, the drawings, and the project binder (specifications, supplemental drawings, addenda and product cut sheets).
- all required work shall be performed by the general contractor, unless otherwise noted. all references to the "contractor" include the general contractor and his subcontractors: they shall be one and the same.
- the contractor shall obtain all applicable building permits, all necessary inspections, and the certificate of occupancy.
- the contractor is responsible for the conformance of all work to any and all applicable building codes (including plumbing, electrical and fire). any discrepancies or nonconforming items found in the drawings must be immediately brought to the attention of the architect.
- immediately following the awarding of the contract, the contractor shall submit a construction schedule. any and all changes or submittals affecting construction cost or schedule shall be submitted to the architect for approval. any discrepancies or nonconforming items found in the drawings must be immediately brought to the attention of the architect.
- at the time of bid submittal, the contractor shall advise the architect (in writing) of any specified materials or equipment which are either unavailable, out of the budget or will cause a delay in the construction completion schedule.
- the contractor is responsible for submitting to the architect all shop drawings and finish material samples, allowing adequate time for review, approval or corrections so as not to adversely affect the construction schedule.
- no substitutions of specified materials shall be permitted without first submitting specifications, samples and cost impact for the architect's approval.
- the contractor shall coordinate all work performed by the various sub-contractors, and shall verify and coordinate all openings through floors, walls and ceilings with architectural, structural, mechanical and electrical drawings.
- the contractor shall coordinate his work with all other trades on the project. any changes or delays arising from conflicts between trades shall be the responsibility of the contractor at no additional cost to the owner.
- the contractor is responsible for the protection of all materials being delivered to the project, the protection of neighboring properties, and the compliance to all o.s.h.a. requirements.
- the job site shall be maintained in a clean, orderly manner, free of trash and construction debris. the contractor shall provide for recycling at the job site.
- the drawings should not be scaled. if a dimension can't be determined, the contractor shall promptly contact the architect for verification. when drawings have been revised, noted dimensions shall take precedence.
- the drawings and specifications are complimentary: what is required by one shall be as binding as if required by all. when a conflict occurs, the specifications shall have precedence.
- the contractor shall provide and install rough plumbing and final hook-up for all specified fixtures and appliances, and shall supply all such fixtures and appliances unless otherwise noted.
- the contractor shall coordinate with all equipment manufacturers for equipment rough-in requirements.
- the contractor shall supply and install blocking and supports in partitions and ceilings as required for installation of specified equipment, accessories, cabinetry, finish materials and fire blocking (see below)
- the contractor shall verify required locations and dimensions of all necessary access panels (in partitions, floors, or ceilings), and coordinate exact locations and panel details with the architect prior to installation.
- the contractor shall provide a floor drain in a utility area for drainage of condensate and/or overflow from all mechanical equipment including the hot water heater.
- the contractor shall be responsible for supplying temporary utilities (power, lighting, water) to the job site for use by all construction trades, including those not a subcontractor to the general contractor.
- the contractor is responsible for verification of all stone take-offs done by the stone mason.
- fire separation:
  - for walls separating garage and living space, provide (1) layer of 5/8" type "X" g.w.b. on each side of studs.
  - for ceiling/floors separating garage and living space, provide (2) layers of 5/8" type "x" g.w.b. at ceiling.
- fire blocks shall be provided in the following locations:
  - in concealed spaces of stud walls and partitions, including furred spaces, at ceiling and floor elevations
  - in concealed spaces of stud walls and partitions, including furred spaces, at 10-foot intervals along the length of the wall.
  - at all interconnections between concealed vertical and horizontal spaces such as occur at soffits, drop ceiling and cove ceilings.
  - in concealed spaces between stair stringers at the top and bottom of the run and between studs along and in line with the run of the stairs if the walls under the stairs are unfinished.
  - in openings around vents, pipes, ducts, chimneys, fireplaces and similar openings that afford a passage for fire at ceiling and floor levels, with non-combustible materials.
  - at openings between attic spaces and chimney chases for factory-built chimneys.

## graphic symbols legend

	drawing #		building section / elevation tag		window tag		detail tag
	sheet #		interior elevation tag		door tag		detail reference
	datum elevation		revision number		revision number		design intent tag
	room number		room number				

## vicinity map



## sheet index

- A1.1** title sheet
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- A3.5** roof plan
- A3.6** master bath patio
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- M-2** lower level HVAC duct plan
- M-3** main level HVAC piping plan
- M-4** main level HVAC duct plan
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- M-6** upper level duct/equip. plan

## project perspective view



## project team

<b>surveyor</b> bulson surveying david bulson 166 alexander overlook Telluride, CO 81435  (970) 318-6987	<b>geotech engineer</b> trautner geotech llc 649 tech center drive, unit A durango, CO 81301  (970) 259-5095	<b>general contractor</b> gerber construction, inc. dave gerber po box 2578 238 e. colorado ave, suite 3 telluride, CO 81435  (970) 728-5205	<b>civil engineer</b> alpine land consulting llc gregg anderson po box 234 rico, CO 81332  (970) 708-0326
<b>structural engineer</b> mike thele , p.e. 0296 seven oaks road carbondale, co 81435  (970) 963-3181 (970) 963-3182 (fax)	<b>mechanical engineer</b> burggraaf associates inc. mark burggraaf, p.e. po box 817 montrose, co 81403  (970) 946-3103	<b>h.e.r.s. rater</b> lotus energy solutions, llc kim wheels, p.e. po box 803 ophir, co 81426  (970) 708-9674	<b>lighting designer</b> t.b.d
<b>landscape architect</b> caribou design associates beth moeller ballis po box 3855 telluride, co 81435  (970) 708-1232			

## project information

### legal description:

lot 5 of the idarado subdivision

### property owner:

liberty bell 5 llc a colorado llc

21 blue heron pt  
hilton head island, sc, 299261209

### code info / design guideline info:

idarado legacy subdivision - liberty bell  
2018 irc - occupancy classification r-3

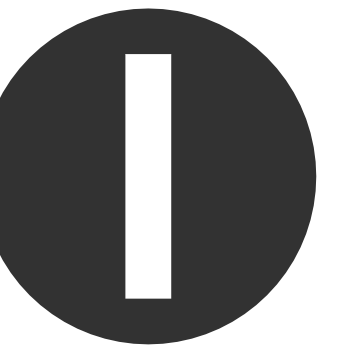
### project description:

- 2 levels + basement / crawl space
- 4 bedrooms
- attached 2-car garage + attached 1-car garage
- 3 parking spaces (in garages)

### square footage summary:

basement	2237
living	1372
mechanical	865
main level	4311
living	3458
garage	601
e-car garage	252
upper level	1874
living	1874
<b>totals</b>	
living	6704
garage + mech.	1718
gross	8422
(gross above grade)	6185
decks + patios + terrace	4166

926 sf of snowmelt currently shown



one architects inc

post office box 3442  
220 e. colorado ave. suite 220  
p:970.728.8877 f:970.728.8848  
www.onearchitects.com  
contact:bruce/jodie/bronwen/adam

BRIAN + STEPHANIE HOVER

idarado lot L5  
san miguel county, colorado

HOVER

### issuances:

drc sketch submittal	5/12/2022
drc final submittal	7/28/2022
drc final submittal	10/31/2022
drc final submittal	12/1/2022
building permit set	6/12/23

### revisions:

**A1.1**  
title sheet



1 north view



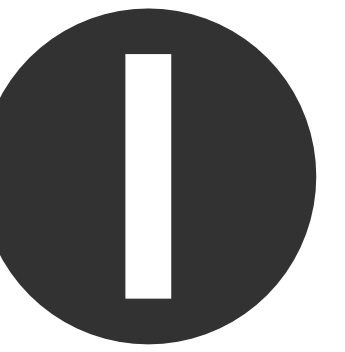
2 east view



3 south view



4 west view



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idarado lot 15  
san miguel county, colorado

BRIAN + STEPHANIE HOVER

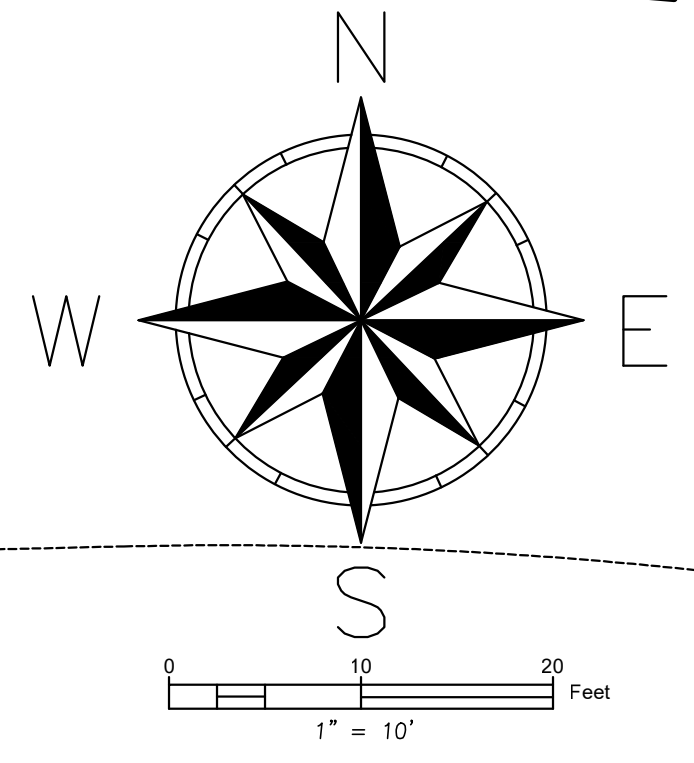
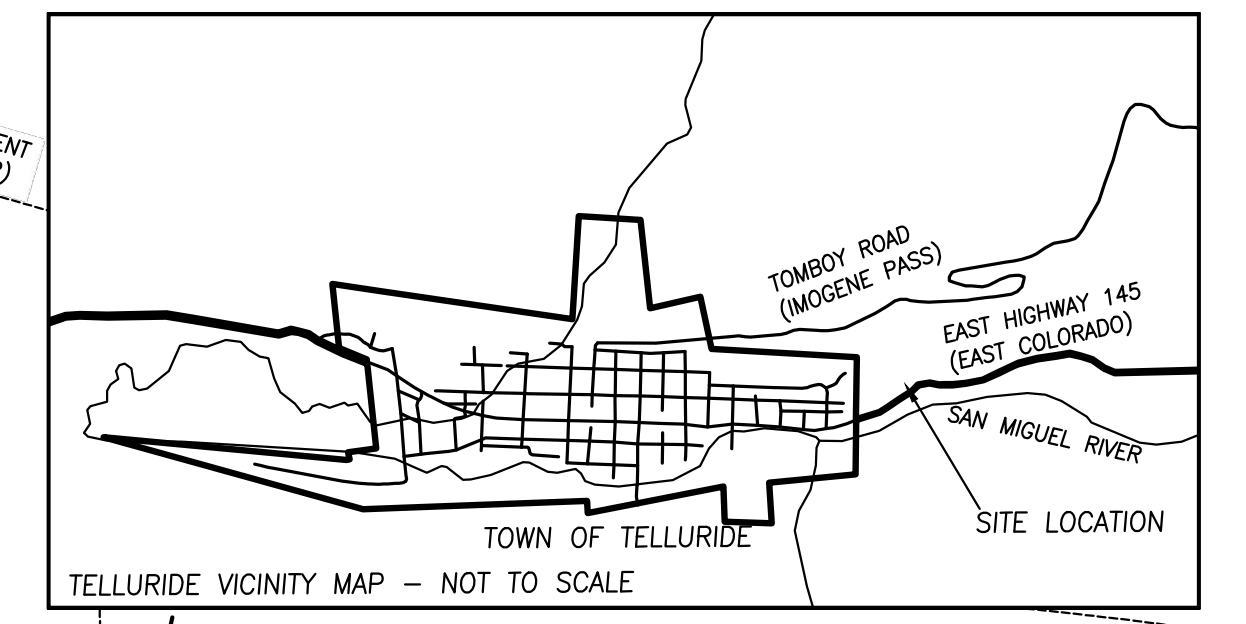
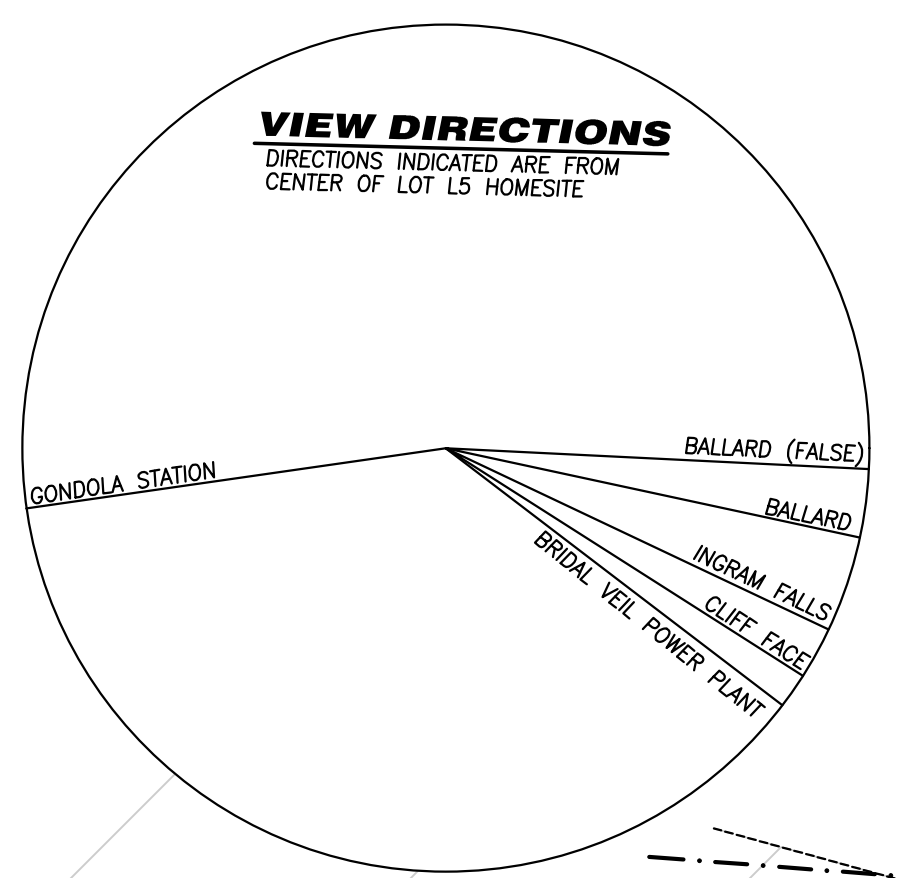
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revisions:

A1.2  
perspectives

Topographic/Existing Conditions  
 Lot L5, Idarado Subdivision  
 S5 T42N R8W N.M.P.M.



**Lot L4**  
 (2 STORY STONE AND WOOD FRAME HOUSE)  
 118 LIBERTY BELL LANE  
 KELJEHOR INVESTMENTS LTD A TX LP  
 TAX ID: R1030050009  
 PEAK ELEVATION: 8839.1'

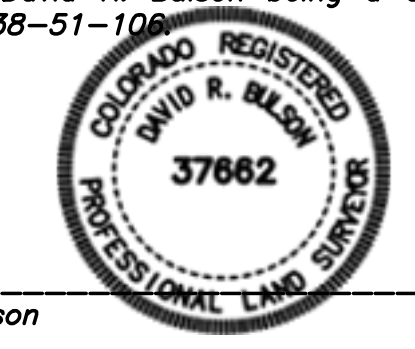
**Lot L5**  
 NO ADDRESS POSTED  
 NO STRUCTURES  
 0.58 ACRES

**Lot L6**  
 (3 STORY STONE AND WOOD FRAME HOUSE)  
 180 LIBERTY BELL LANE  
 MOONDANCE INVESTMENTS LTD A TX LP  
 TAX ID: R1030050011  
 PEAK ELEVATION 8872.5'

- NOTES:**
- This survey does not constitute a title search by Bulson Surveying, Inc.
  - Easements and property boundary based off the measured bearings and distances of the Plat Recorded June 5, 2006 at Plat Book 1 at Page 3662, County of San Miguel, State of Colorado.
  - According to FEMA Flood Insurance Rate Map 08113C0291-D, Panel Number 0287 D dated September 30, 1988, Revised February 10, 2006 to Reflect Letter of Map Revision, this parcel is within Zone X, Areas determined to be outside 500-year flood plain.
  - Lineal units represented hereon are shown in U.S. Survey Feet or a decimal portion thereof.
  - This survey is valid only if a print or electronic copy has a seal and signature of the surveyor noted within the statement above.
  - Any person who knowingly removes, alters, or defaces any public land survey monument and/or boundary monument or accessory, commits a class two (2) misdemeanor pursuant to C.R.S. 18-4-508.
  - The word certify as used hereon means an expression of professional opinion regarding the facts of this survey and does not constitute a warranty or guarantee, expressed or implied.
  - This survey is prepared for the exclusive use of the party or parties indicated within the surveyor's statement. Said statement does not extend to any unnamed person or parties without an express statement by the surveyor naming said entities.
  - Due to winter conditions, only improvements visible above the snow level are shown on this Improvement Survey Plat.
  - Benchmark: Rebar and aluminum cap, LS 37970 located at the Southwest corner of Lot L5 as shown hereon, with an elevation of 8817.93 feet.
  - Contour interval is one (1.0) foot.

**NOTICE:** According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

This Existing Conditions/Improvement Survey of Lot L5, Idarado Subdivision, was field surveyed on April 7, 2021 under the direct responsibility, supervision and checking of David R. Bulson being a Colorado Licensed Surveyor, in compliance with CRS § 38-51-106.

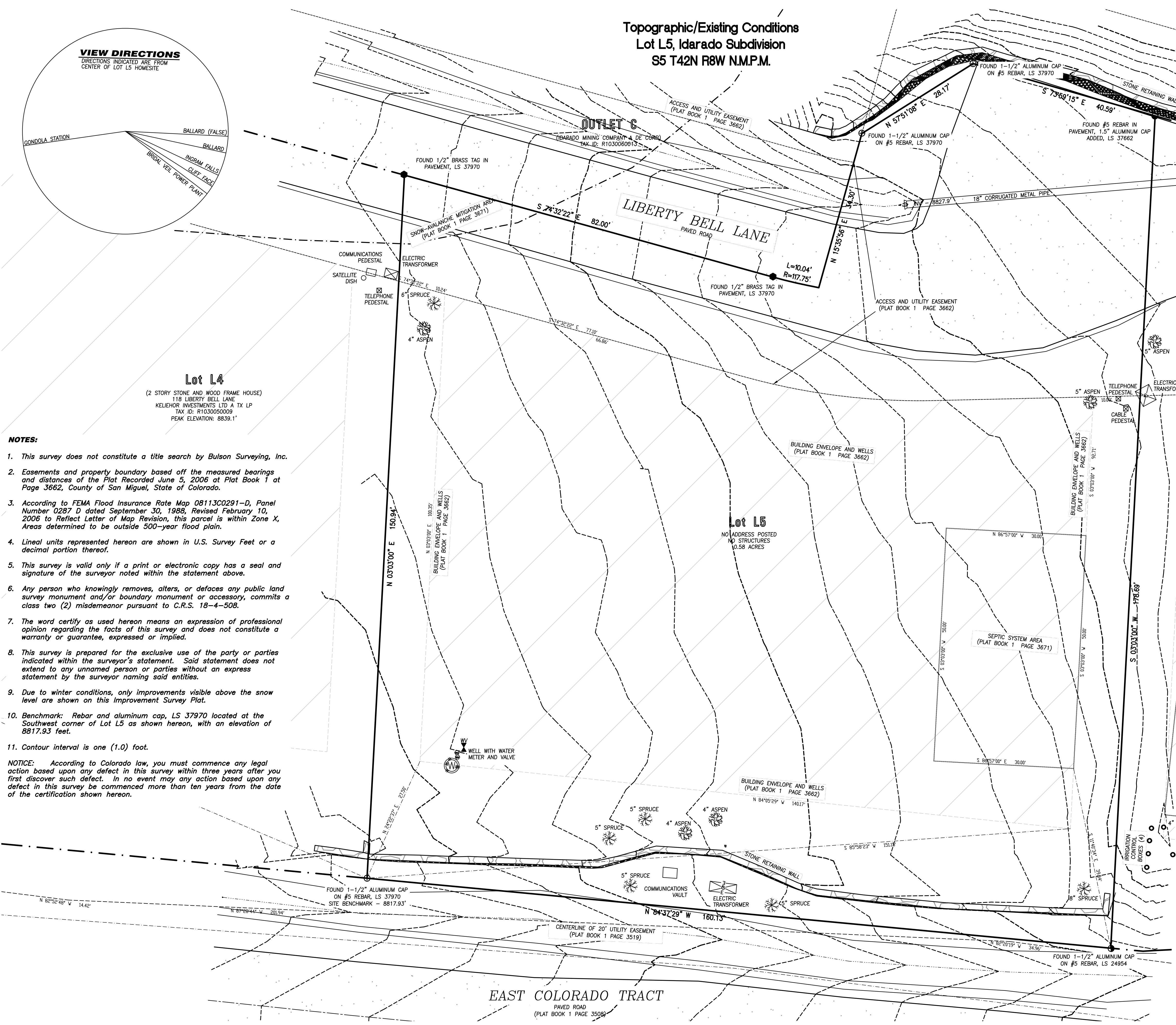


David R. Bulson L.S. 37662

**PROPERTY DESCRIPTION:**

LOT L5, IDARADO SUBDIVISION EXEMPTION PLAT AND PLAN FOR CLUSTER DEVELOPMENT LOTS, SUBDIVISION EXEMPTION PLAT FOR EMPLOYEE HOUSING PARCEL AND SUBDIVISION EXEMPTION PLAT FOR ASSOCIATION PARCEL RECORDED FEBRUARY 10, 2004 IN PLAT BOOK 1 AT PAGE 3238, AS MODIFIED BY FIRST AMENDMENT RECORDED NOVEMBER 1, 2004 IN PLAT BOOK 1 AT PAGE 3368, THE SECOND AMENDMENT RECORDED AUGUST 18, 2005 IN PLAT BOOK 1 AT PAGE 3508, AND THE THIRD AMENDMENT RECORDED JUNE 5, 2006 IN PLAT BOOK 1 AT PAGE 3662, AND THE SITE CONSTRAINTS MAP RECORDED FEBRUARY 10, 2004 IN PLAT BOOK 1 AT PAGE 3247, AND FIRST AMENDMENT SITE CONSTRAINTS MAP RECORDED NOVEMBER 1, 2004 IN PLAT BOOK 1 AT PAGE 3378, AND THE SECOND AMENDMENT TO SITE CONSTRAINTS MAP RECORDED AUGUST 18, 2005 AT PLAT BOOK 1 AT PAGE 3519, AND THE THIRD AMENDMENT TO THE SITE CONSTRAINTS MAP RECORDED JUNE 5, 2006 IN PLAT BOOK 1 AT PAGE 3671 COUNTY OF SAN MIGUEL, STATE OF COLORADO.

Liberty Bell 5 LLC A CO LLC TBD Liberty Bell Lane Telluride, CO, 81435	<b>Lot L5 Idarado Subdivision</b> S5 T42N R8W NMPM
4/13/2021	<b>BULSON SURVEYING</b>
21022	



**EAST COLORADO TRACT**  
 PAVED ROAD  
 (PLAT BOOK 1 PAGE 3508)

PLANT SCHEDULE	COMMON NAME	BOTANICAL NAME	SIZE	QTY
Populus tremuloides	Quaking Aspen		2.0' cal. multi	12
			2.5' cal.	11
			3.0 cal. single	2
Picea pungens	Colorado Spruce		10'	2
Prunus virginiana melanocarpa	Native Chokecherry		12'	1
Picea pungens globosa	Globe Spruce		B&B	20
Picea pungens	Norway Spruce		#7	5
Cornus sericea 'Bailey'	Red Twig dogwood		4'	8
Perennial Bed A	Perennials		#5	9
Perennial Bed B	Perennial ground cover			200 SF
Native Grass seed	Aldasoro mix			Field verify
Native Wildflower seed	Western Native seed Subalpine mix			Field verify
Sod				925 SF

- REVEGETATION NOTES**
- Subsoil surfaces shall be tilled to a 4" depth on non fill areas.
  - Topsoil shall be spread at a minimum depth of 6" over all areas to be revegetated (except on slopes greater than 3:1) and amendments rototilled at a rate of three cubic yards per thousand square feet.
  - Broadcasting of seed shall be done immediately after topsoil is applied (within 10 days) to minimize erosion and weeds.
  - Areas which have been compacted or relatively undisturbed needing seeding, shall be scarified before broadcasting of seed.
  - Broadcast with specified seed mix and follow with dry mulching. Straw or hay shall be uniformly applied over seeded area at a rate of 1.5 tons per acre for hay or 2 tons per acre for straw, crimp in.
  - On slopes greater than 3:1 erosion control blanket shall be applied in place of straw mulch and pinned.
  - All utility cuts shall be revegetated within two weeks after installation of utilities to prevent weed infestation.
  - Native Grass Seed mix to be Aldasoro native grass mix as specified in DRB guidelines.
  - Wildflower seed mix by Western Native Seed Subalpine mix.

- GENERAL NOTES**
- All trees and shrubs shall be field located by project Landscape architect.
  - All trees and shrubs shall be backfilled with a topsoil/organic fertilizer mixture at a 2:1 ratio.
  - Necessary trees shall be staked with 4 foot metal posts. Trees shall be guyed with 12 gauge galvanized wire and polypropylene tree race straps.
  - Perennial planting beds shall be tilled to a 6" depth and amended with topsoil and organic fertilizer at a 2:1 ratio.
  - See planting details for all deciduous and evergreen trees.
  - Mulch all perennial beds with a pine bark soil conditioner by Southwest Importers; shredded cedar bark.
  - All plant material to meet the American Standard for Nursery Stock.
  - Irrigation system to be turned on by June 1st annually and turned off by Oct. 15th.

- NOXIOUS WEEDS**
- All planted materials including seed, shall be non-noxious species as specified within the San Miguel County's most current Noxious Weed List.

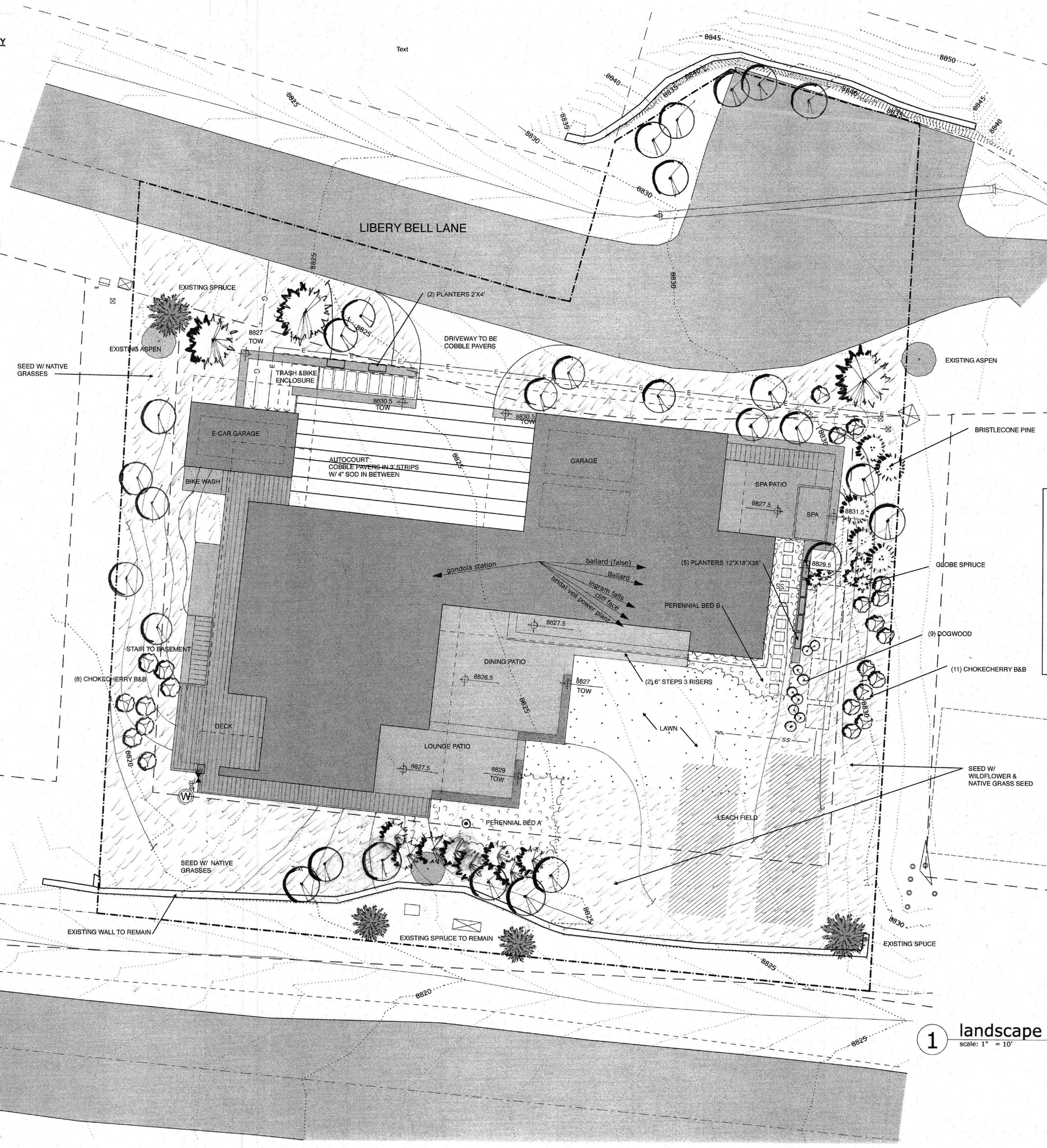
**WATER USAGE CHART**

Type	Monthly use	Total #	Total Monthly Usage
Perennials	2.5 gal/SF	310 SF	775
Revegetation		1100 SF	
Shrubs	3.20 gal/EA	36	115
Aspen trees	10 gal /EA	30-28	300-280
Spruce trees	25 gal/EA	3	75
Bristlecone Pine	15 gal/EA	5	75
Norway spruce	15 gal/EA	8	120
Sod	4.0' SF	925	3700
<b>COMPLETE MONTHLY USAGE</b>			<b>5,140 gal/mo</b>

- IRRIGATION NOTES**
- Tap with rainbird PVB-075 backflow preventer
  - Rainbird RCM-12 electromechanical controller
  - 1.5" Wilkins model 500 pressure regulator
  - Rainbird 150-PEB 1.5" electric remote control valve
  - Class 200 PVC Mainline 1"
  - 3/4" 80NSF polylaterai line
  - Water Sensor by Rainbird

**IRRIGATION SCHEDULE**

ZONE	LOCATION	HEAD	GPM
1	Aspen Trees	drip emitters	-
2	Spruce trees	drip emitters	-
3	Evergreen shrubs	drip emitters	-
4	Deciduous shrubs	drip emitters	-
5	Perennials	pop up sprays	24
7	Revegetation East	rotors	24
8	Revegetation West	rotors	24
8	Sod	pop up sprays	24
9	Planters/annuals	drip emitters	-



**LEGEND**

- Spruce
- Aspen
- Bristlecone Pines
- Norway Spruce
- Globe Spruce
- Chokecherry
- Dogwood
- Perennials
- Revegetation

Caribou Design Associates  
Landscape Architecture and Planning  
P.O. Box 3985  
Telluride, Colorado 81851  
Tel: 970.709.1232  
CaribouDesignAssociates.com

HOVER THERE

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220 e. colorado ave. suite 220  
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BRYAN + STEPHANIE HOVER  
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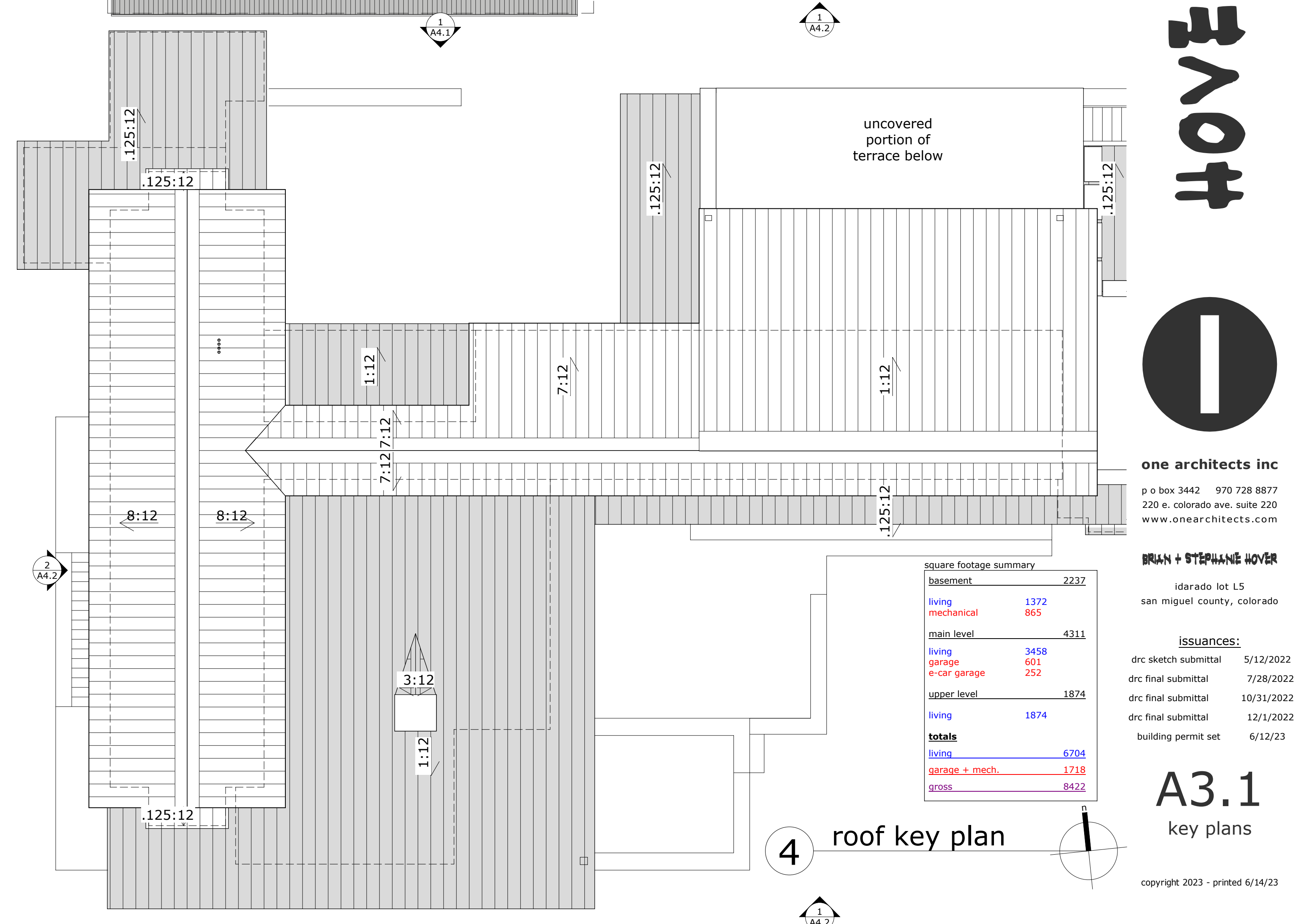
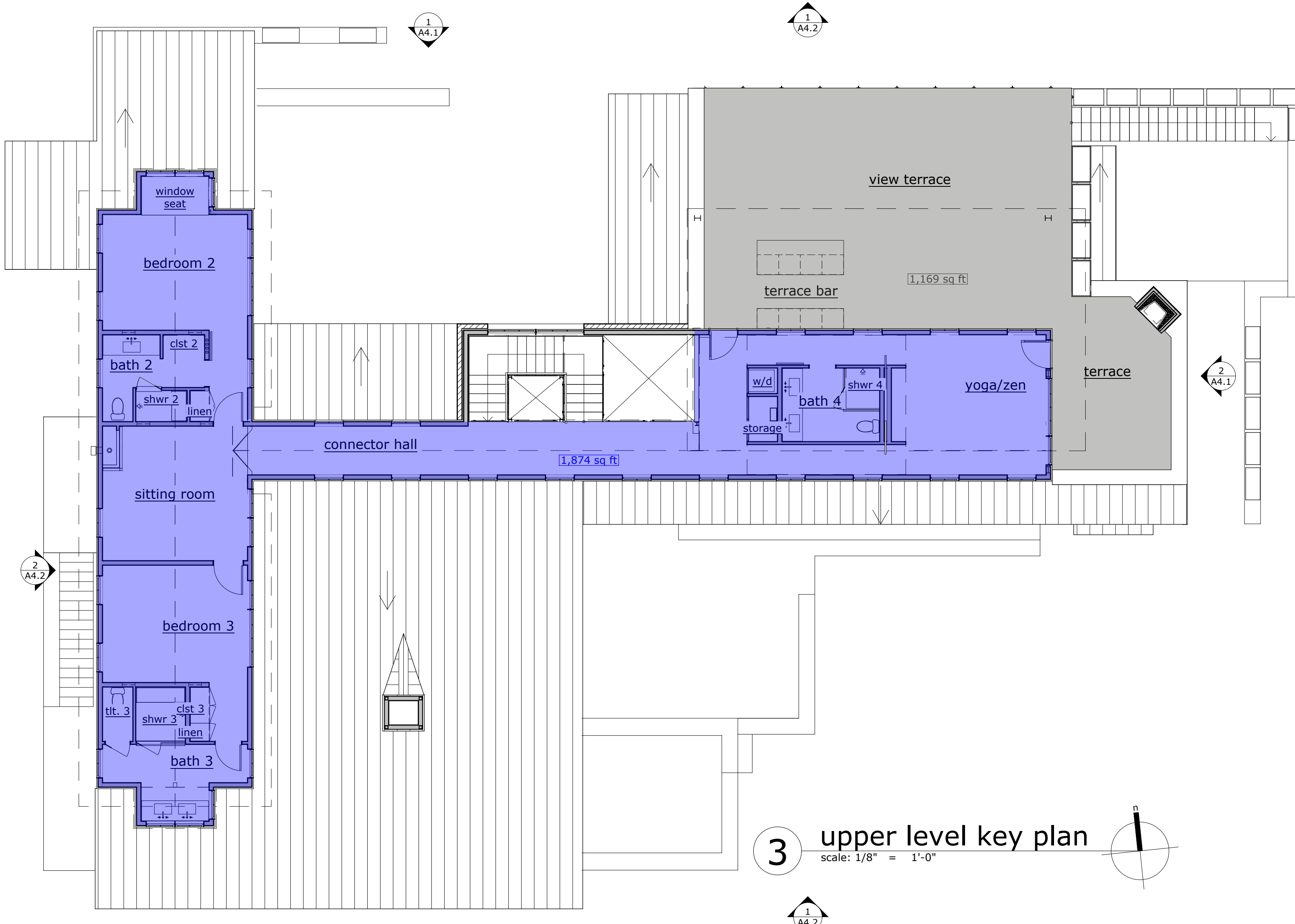
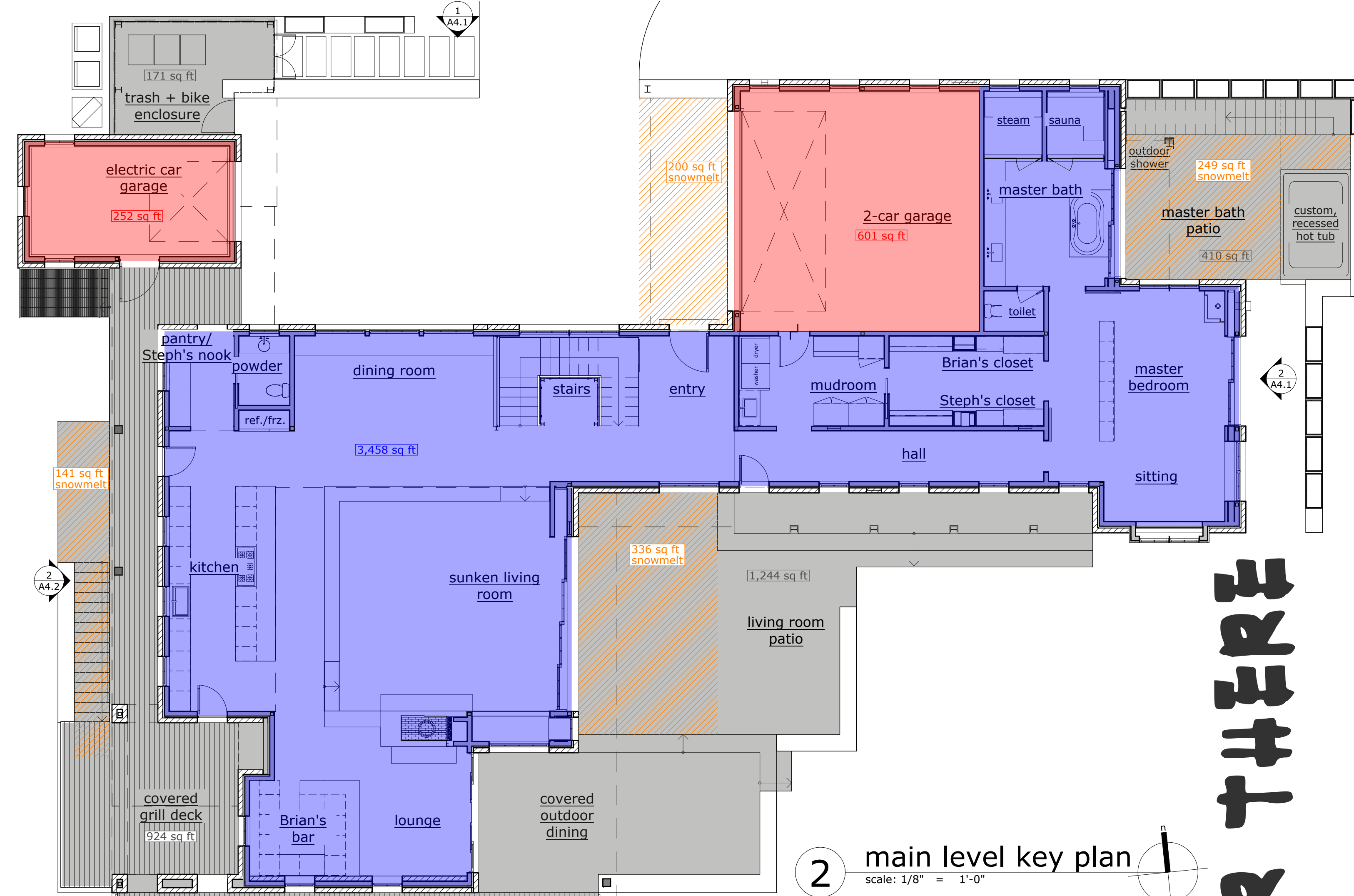
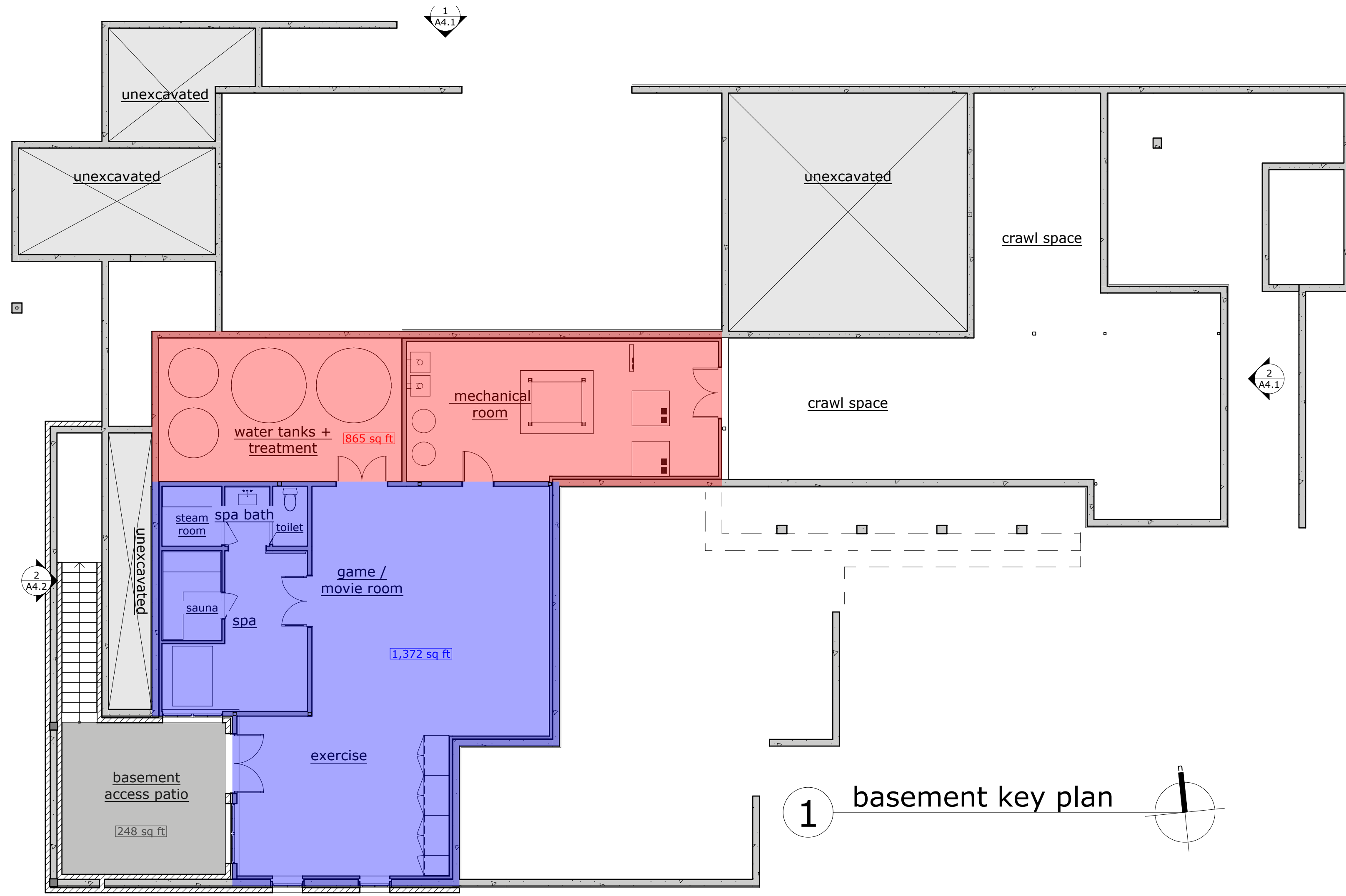
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**1** landscape plan  
scale: 1" = 10'

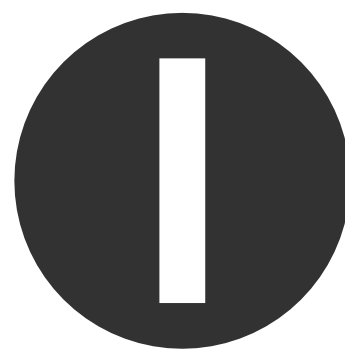
**L2.1**  
landscape plan

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**HOVER + STEPHANE**



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**A3.1**  
key plans

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